



## Department of Procurement Services

---

160 South Hollywood Street · Room 126 · Memphis, TN 38112 · (901) 416-5376

### QUESTIONS AND ANSWERS

#### **IFB #081624VK – Dexter Elementary Roof Replacement**

1. Please provide details for end-wall / thru-wall flashing conditions (see pictures)

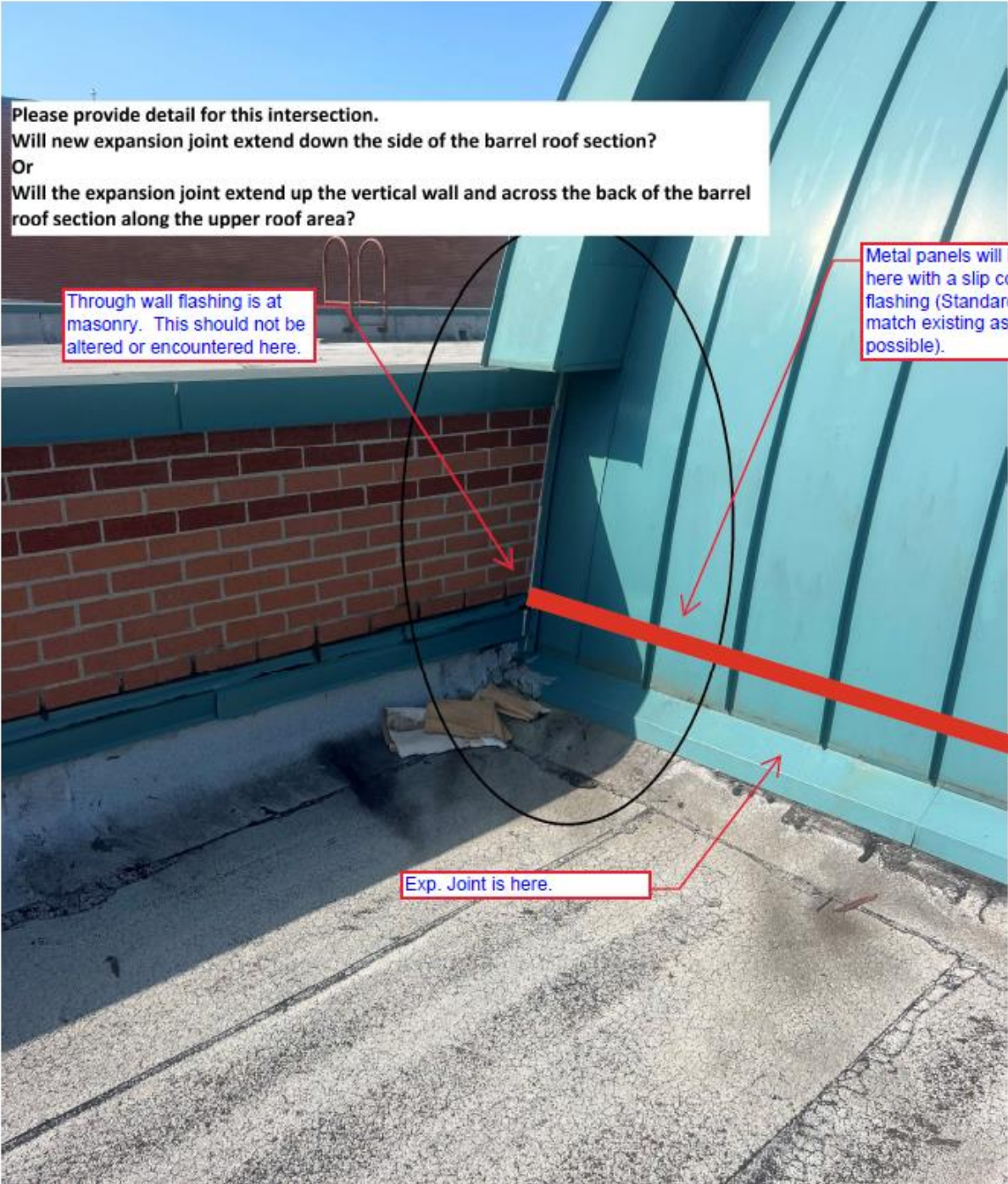
**ANSWER:** See below comments. Details are provided on the drawings but not specific to these locations. Comments below for reference and clarification.

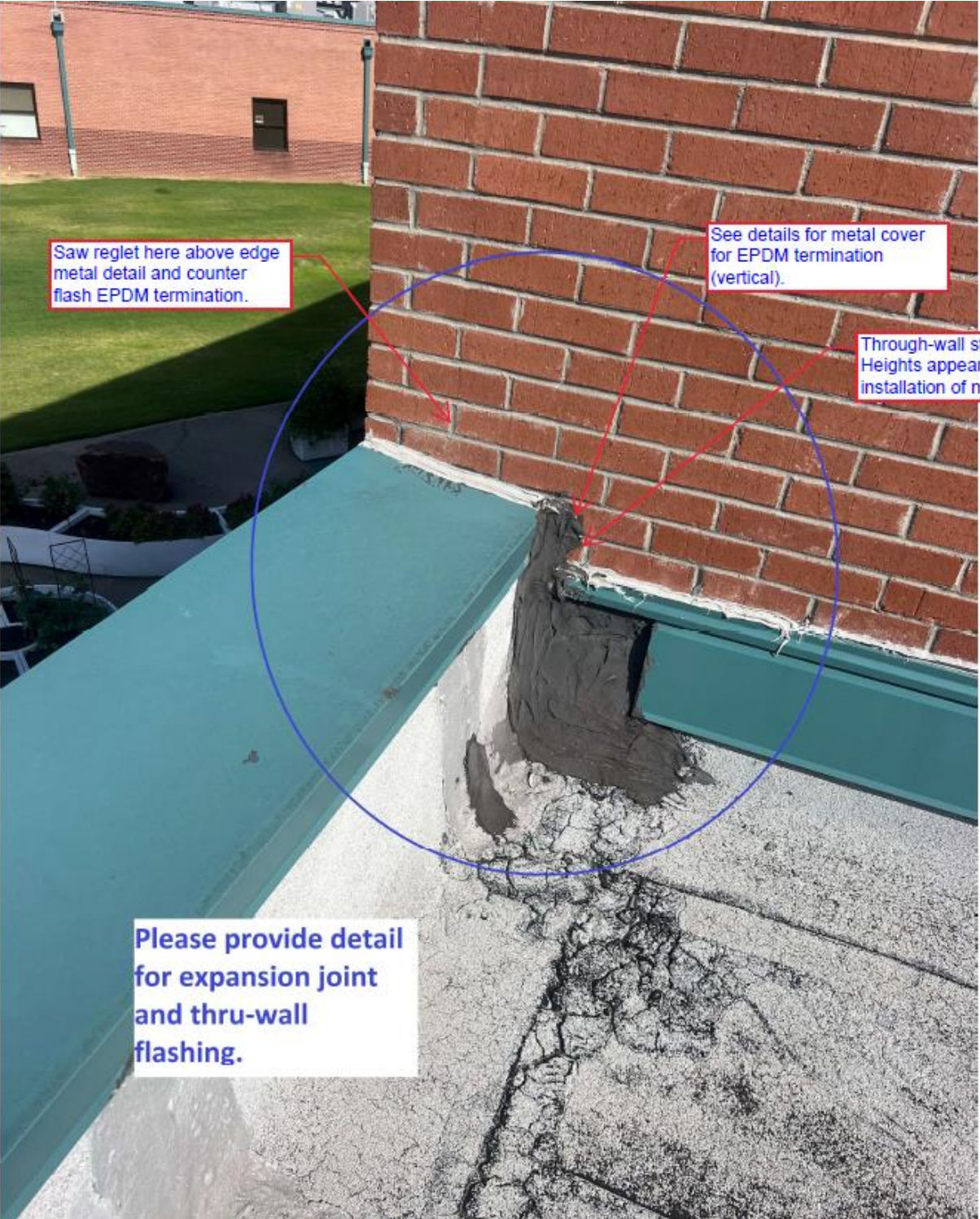
2. Letter (I) on roofing notes indicates sawing a new control joint in the masonry. There is no indication on the drawings where this occurs. Please clarify the intended location.

**ANSWER:** There was a crack in the masonry at one location. This would occur in that location. Anticipate 25 linear foot of sawing, backer rod, and new sealant per spec.

3. Is the current number of seismic supports on the gas line sufficient for code? If not, who determines the additional number of seismic structural supports.

**ANSWER:** The gas lines appeared to be supported currently. This should meet the code requirements but will need to be confirmed by the appropriate engineer. Roofing Contractor to include this cost per the documents.



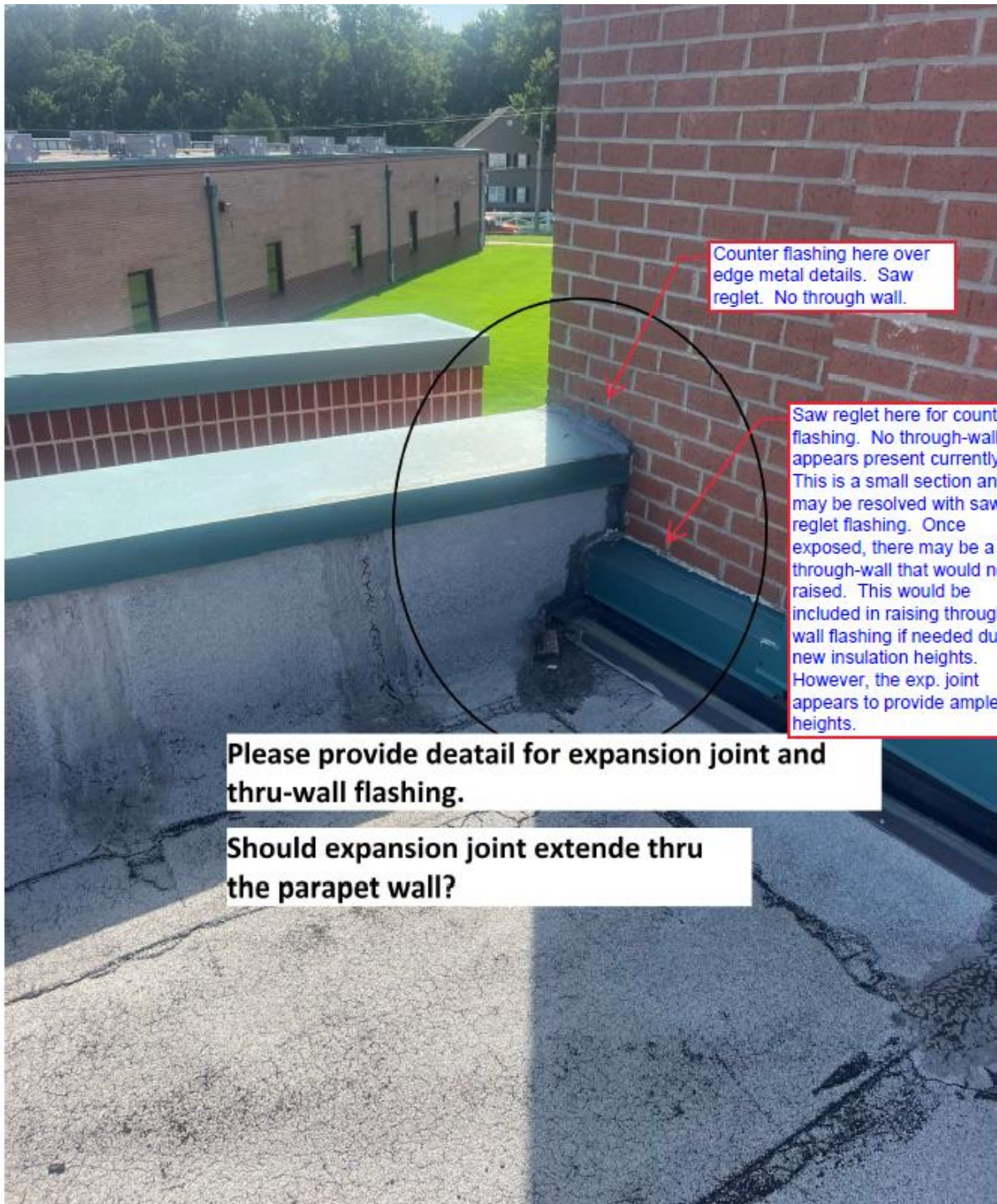


Saw reglet here above edge metal detail and counter flash EPDM termination.

See details for metal cover for EPDM termination (vertical).

Through-wall stops here. Heights appear to permit installation of new system.

Please provide detail for expansion joint and thru-wall flashing.



Counter flashing here over edge metal details. Saw reglet. No through wall.

Saw reglet here for counter flashing. No through-wall appears present currently. This is a small section and may be resolved with sawn reglet flashing. Once exposed, there may be a low through-wall that would need raised. This would be included in raising through-wall flashing if needed due to new insulation heights. However, the exp. joint appears to provide ample heights.

**Please provide detail for expansion joint and thru-wall flashing.**

**Should expansion joint extend thru the parapet wall?**

4. Can a space for Roofer be added to the Bid Identification Form? Every bidding contractor should complete this even if they are self-performing the roofing on this project.

**ANSWER: The Bid Identification Submittal Form already includes a space/area for each bidder, submitting a bid, to include their name, license number, expiration date thereof, and license classification.**

5. Will Davis Bacon Wage Rates be required?

**ANSWER: No. It is not Federal Funded**

6. Will certified payroll be required?

**ANSWER: No. It is not Federal Funded**

7. Will unlicensed sub labor be allowed on this project? If not, how will the owner track this?

**ANSWER: Only licensed sub laborers will be allowed. Proof of license will be verified before the bid is awarded. If Davis Bacon Wages are included, certified payroll is required.**

8. Has asbestos testing been done on the existing roofing material that is set to be demoed? If yes, can we get a copy of that report?

**ANSWER: No testing has been performed. MSCS understood this roof to be installed in the early 2000's and should not contain any Asbestos materials.**

9. With the new roof system being mechanically attached and conduits being present directly below the roof deck, there is an extremely high chance that the conduits and conductors will be damaged during the installation of the new roof. It will be impossible for a contractor to identify the locations of these conduits since most of the school has a lay in drop ceiling. How will this be addressed when or if a conduit and conductors are damaged during the installation of the new roof?

**ANSWER: The contractor is responsible for any damages. They are responsible for entering the building and determining the placement of conduits and fixtures to avoid hitting them.**

10. What will be the work hours for this project?

ANSWER: Work hours are to be coordinated with the school's Principal and Plant Manager, to ensure the work does not interfere with the academic schedule.

11. Will a letter from the roofing manufacturer need to be included in the bid submittal stating that the bidding contractor is approved by the manufacturer and is eligible to receive the required warranty?

ANSWER: Yes, a letter from the roofing manufacturer needs to be included in the bid.

12. Will the owner consider adding a unit cost for the following:

- Metal Deck Priming (This is an unforeseen condition that will be impossible to have a known quantity to apply to your cost estimate.)

ANSWER: Understood this is an unforeseen condition. The design team did not anticipate large areas. Please add a unit price to the unit price list within the specifications for per square foot of cleaning, priming, and painting of the metal deck.

13. The unit cost items that are currently in the specification have no base quantity that is to be included in our base bid. Should they?

ANSWER: Unit pricing is included in the specifications and states the unit of measure clearly. The base bid should include the items identified in the base bid. Unit pricing is utilized for conditions outside the base bid.

14. Will the owner consider adding an allowance for the following:

- Electrical Conduit / Conductor Repair

ANSWER: No, it is the contractor's responsibility during due diligence.

- Required Inspections by a Structural Engineer

ANSWER: No, it is the contractor's responsibility to follow code regulations.

15. On G0.02 Substrate Notes, note 1 state that the damaged deck is to be repaired per details provided by a structural engineer. Will the contractor be required to have all deck replacement reviewed by a structural engineer?

**ANSWER:** An engineer can prepare typical details for the repair with parameters for damage extent and when further review is required. For example, on concrete decks if a crack exceeds ½” in width or on a metal deck if more than 10’ are damaged, a structural engineer would need to inspect the area and provide additional details if required.

16. On G0.01 General Notes, note 23 states that the scuppers should be installed 2” – 4” above the roof drains. Is it the intent that all the existing scuppers be raised in the brick wall to be 2” – 4” above the finished roof surface? If so, can we get a detail on what will be required to achieve this with the existing wall being brick / CMU block.

**ANSWER:** Yes, this will be coordinated if encountered. The anticipated method would be to fill the void in the opening with rigid polyisocyanurate and the exterior would be a face plate covering possible larger voids.

17. On G0.02 Scope of Work note 16 states contractors shall review existing thru-wall flashing above roof to confirm they are intact. How will this be done with this being concealed behind a masonry wall?

**ANSWER:** Once the roof is removed, the thru-wall flashing should be visible on the exterior of the wall if it exists and remains intact. Any additional concerns will be discussed with the awarded contractor at the time of construction.

18. On G0.02 Scope of Work note 17 states contractor shall clean and scope all existing drains, downspouts and rain leaders 100’ minimum to confirm lines are unobstructed and intact. Do all drains need to be cleaned or only scoped to see the condition?

**ANSWER:** All drainage points should be cleaned and scoped 100 linear foot per the specifications.

Will the scope need to be recorded and submitted with the closeout documents?

**ANSWER:** Yes. Confirmation of cleared lines will need to be provided.

19. On G0.02 Safety Anchor Note. Per this note I am assuming that the owner wants to install a full tie off system. If this is the case, we will need more direction on what type of system they would like installed. Also, I did not see the main mockup in the drawing.

**ANSWER:** The owner does not wish to install a full tie-off system. The note refers to temporary tie off systems. The design team is not responsible for their design, spacing or placement.